

Dallas County Community College District  
Purchasing Department  
4343 IH-30  
Mesquite, Texas 75150

August 29, 2019

ADDENDUM NO. 1

RFBC No. 2019-8  
Family Restroom Renovations, Gender Neutral Project at Eastfield College  
3737 Motley Drive  
Mesquite, Texas 75150

Deadline/Due Date: September 6, 2019  
2:00 p.m.

Please take note that the above referenced Request for Bid Construction is amended as follows. The below documents have been added and are now a part of RFBC 2019-8.

**A. Alternate Bids Document**

1. See attachment below

**B. Specifications and Drawings**

1. See attachment below

There are no further changes/additions at this time. If there are any questions concerning this request for bid construction, please contact the Purchasing Department at 972/860-7771.

**END OF ADDENDUM**

**RFBC #2019-8**  
**ALTERNATE BIDS**

Failure to quote all items listed below may be cause for disqualification of your bid.

	<u>ADD</u> <u>Amount</u>	<u>DELETE</u> <u>Amount</u>	<u>Add/(Deduct)</u> <u>Days to</u> <u>Completion</u>
1. Base Bid: WT-1, and P-2 as indicated on sheets A1.03, and A1.04.  Alternate: WT-2 wall tile alternate for P-2 on all restroom walls as indicated on sheets A1.03 and A1.04.			
2. Base Bid: VCT-1: Existing floor drains to remain.  Alternate: Provide new floor drains under the lavatory. Remove existing drains and cap existing piping per the Plumbing drawings.			

**UNIT PRICE SCHEDULE**

In case of variances of quantities from those shown or specified, the unit prices below will be used in adjusting the Contract Sum. Failure to quote all items listed below may be cause for disqualification of your bid.

(NOT APPLICABLE TO THIS PROJECT)

Submitted by: \_\_\_\_\_  
(company name)

# Addendum Number 01

August 22, 2019

To Drawings and Specifications dated August 22, 2019

## DCCCD FAMILY/UNISEX RESTROOMS

Prepared by: PBK  
14001 Dallas Parkway, Suite 400  
Dallas, Texas 75240

PBK Project No.: 19188

### Notice to Proposers:

- A. Receipt of this Addendum shall be acknowledged on the Proposal Form.
- B. This Addendum forms part of the Contract documents for the above referenced project and shall be incorporated integrally therewith.
- C. Each proposer shall make necessary adjustments and submit his proposal with full knowledge of all modifications, clarifications, and supplemental data included therein. Where provisions of the following supplemental data differ from those of the original Contract Documents, this Addendum shall govern.

### GENERAL ITEMS

### SPECIFICATIONS

### DRAWINGS

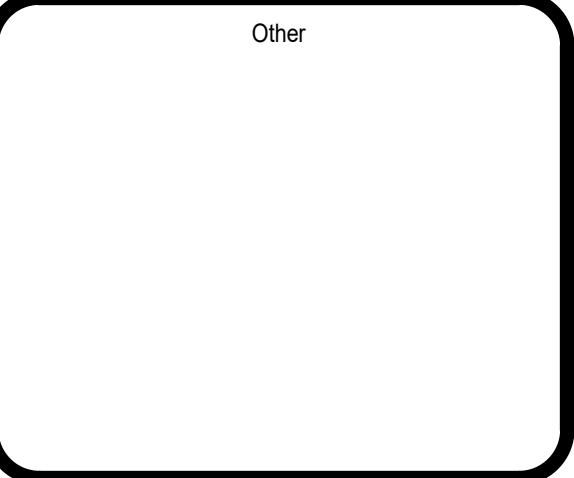
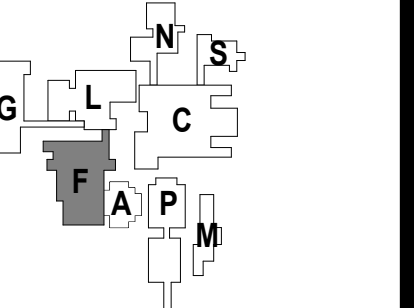
- Item No. 01: Re: **Sheets A1.02, A1.03** Location of toddler safety seat relocated to be next to sink in Family restroom F226A and F226B. Grab Bars modified for 36" length grab bar to be behind water closet and 42" grab bar to be on the wall right of the water closet as shown in drawing 3/A1.02
- Item No. 02: Re: **Sheets A1.02, A1.03** Grab Bars modified for 36" length grab bar to be behind water closet and 42" grab bar to be on the wall right of the water closet as shown in drawing 3/A1.02
- Item No. 03: Re: **Sheets A1.02, A1.03** Typical accessible sink counter detail modified.
- Item No. 04: Re: **Sheets A1.02, A1.03** Electric Hand dryer location modified in Unisex RR F226C and F226D as per Accessibility reviewers' comments.
- Item No. 05: Re: **Spec 01 10 00 Part 3 Execution 3.1 A** Substantial Completion date has been modified to be December 31, 2019.
- Item No. 06 Re: **Spec 01 23 00 Alternates** Alternates section added. Table of contents modified to include Alternates section.

**MEP/TECHNOLOGY – SPECIFICATIONS AND DRAWINGS – Refer to Attached.**



**END OF ADDENDUM NO. 1**

Project No. 19188 – Addendum No. 01



CLIENT		
DCCCD - EASTFIELD CAMPUS		
PROJECT NUMBER		
19188		
DATE		
JULY 12, 2019		
REVISIONS		
No.	Description	Date
1	Addendum 1	8/22/2019

ISSUE FOR BIDDING  
**LIFE SAFETY  
 EGRESS PLAN -  
 SECOND FLOOR**

**G0.02**

PROJECT GENERAL INFORMATION - UNIT A

CONSTRUCTION TYPE:	IB - BUILT IN 1969
CONSTRUCTION TYPE MK:	NA
OCCUPANCY CLASSIFICATION:	9
OVERALL USE OF BUILDING:	CLASSROOM, MARKETING, AV, PRODUCTION DEPARTMENT
HIGH RISE BUILDING:	NO
AUTOMATIC FIRE SPRINKLER SYSTEM:	NO
STANDPIPE SYSTEM:	NO
MINIMUM CORRIDOR WIDTH (REF. IBC):	44"
GROSS BUILDING SQ. FT.:	6,040 SQ. FT.
NET BUILDING SQ. FT.:	5,026 SQ. FT.
TOTAL OCCUPANT LOAD:	55 OCCUPANTS
ASSIGNABLE SQ. FT.:	3,749 SQ. FT.
BUILDING EFFICIENCY:	62.069536%

Floor	Number of Occupants	Exits		Egress Door Width (in.)		Egress Stair Width (in.)	
		Single Exit Maximum Occupant Load: 49		Means of Egress Capacity Factor: 0.2 in.		Stairway Means of Egress Capacity Factor: 0.3in.	
		Required	Provided	Required	Provided	Required	Provided
First Floor	45	1	0	0"	0"	14"	0"
Second Floor	200	2	0	40"	0"	60"	0"
Third Floor	0	1	0	0"	0"	0"	0"
Fourth Floor	0	1	0	0"	0"	0"	0"

Occupancy Type: B	Occupants	Water Closets + Urinals		Lavatories		Drinking Fountains		Bathrooms/Showers		Service Sinks	
		Required	Provided	Required	Provided	Required	Provided	Required	Provided	Required	Provided
Total Occupants:	200	-	-	-	-	2	0	-	0	1	0
Total Female Occupants:	100	3	0	3	0	-	-	-	-	-	-
Total Male Occupants:	100	3	0	3	0	-	-	-	-	-	-
Unisex Assisted Use:	-	0	0	0	0	-	-	-	-	-	-

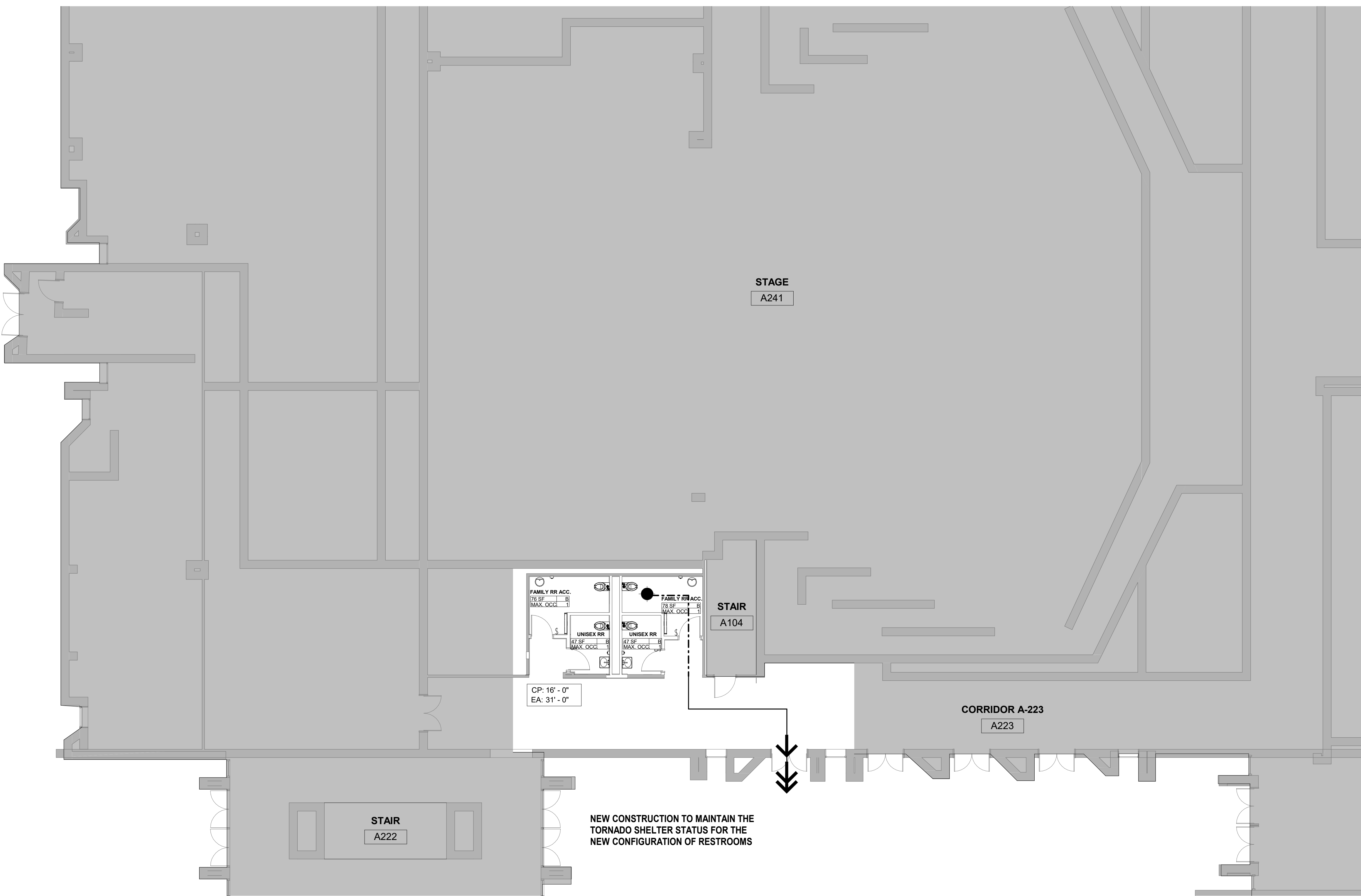
FUNCTION OF SPACE LEGEND - IBC 2015

FUNCTION OF SPACE:  
 AREA NOT IN SCOPE

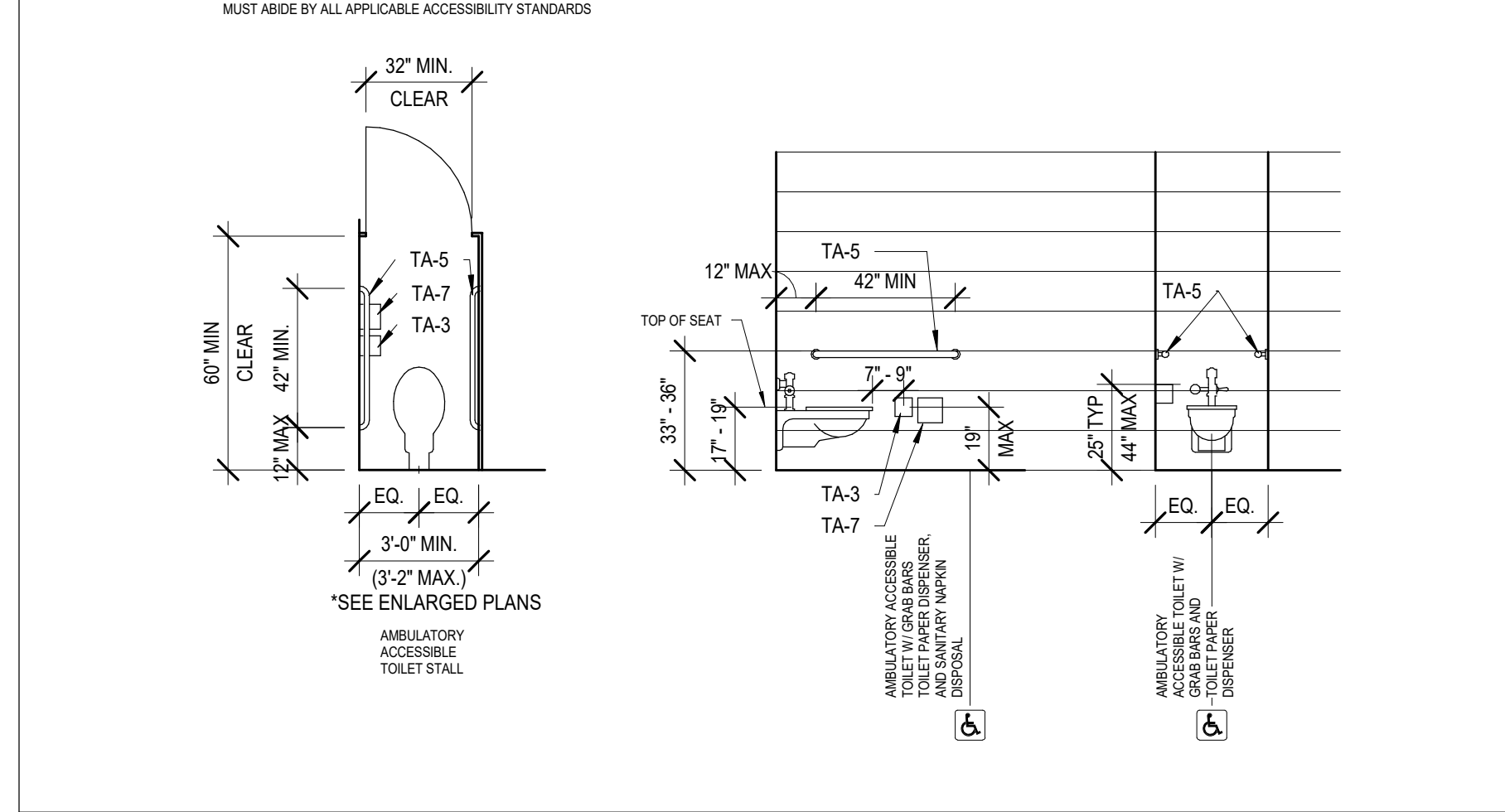
LIFE SAFETY SYMBOLS LEGEND

- MEANS OF EGRESS - COMMON PATH OF TRAVEL
- MEANS OF EGRESS - PATH OF TRAVEL
- > POINT OF EXIT
- >> EXIT DISCHARGE
- > DIRECTION OF TRAVEL
- 1-HR FIRE RATED
- 2-HR FIRE RATED
- 3-HR FIRE RATED
- FIRE EXTINGUISHER
- FIRE EXTINGUISHER CABINET
- CP: 0' EA: 0' COMMON PATH OF TRAVEL/ EXIT ACCESS TRAVEL DISTANCE

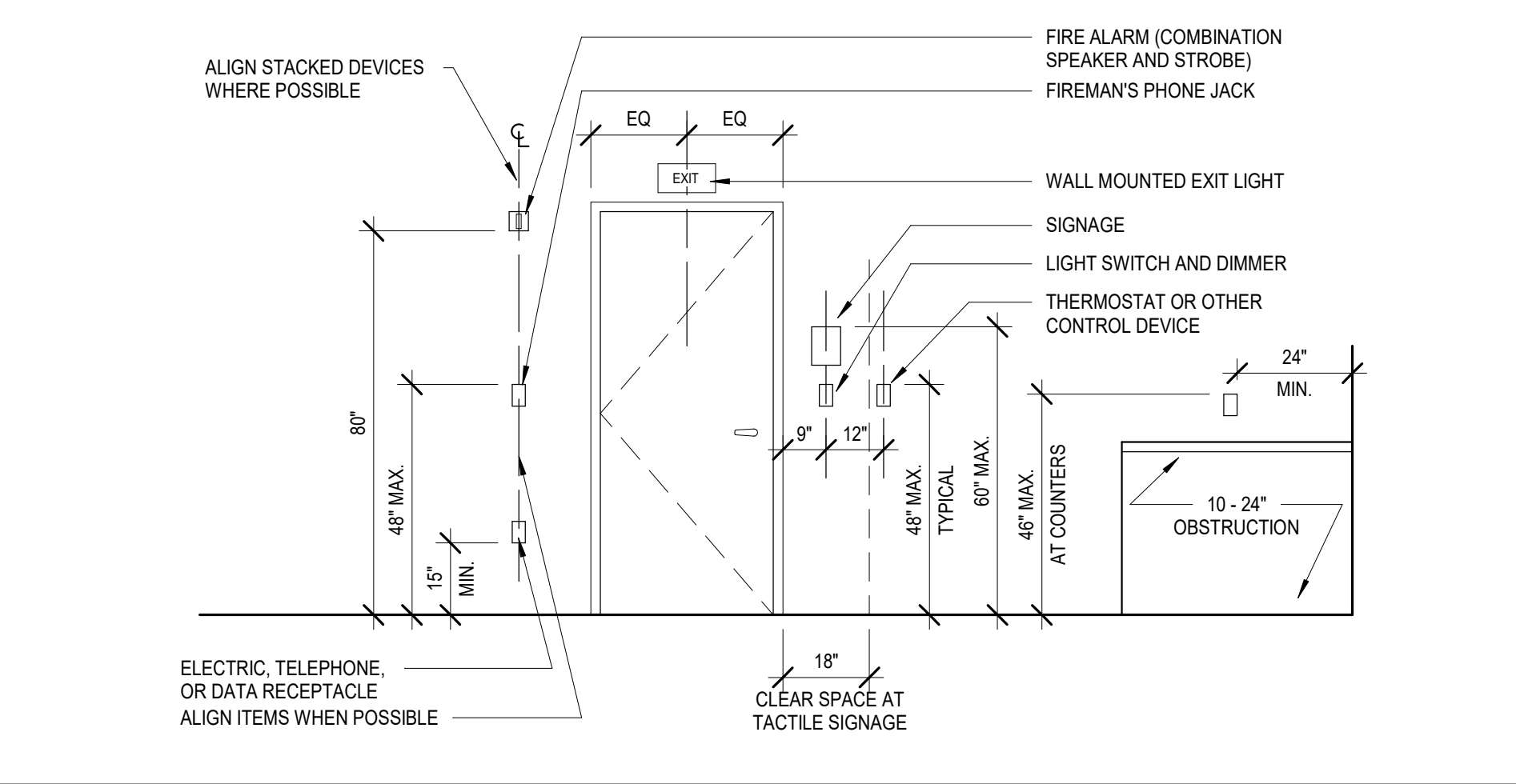
	Age: 13 - Adult (Grades 8 and Above)
WATER CLOSET: To Top of Seat	17" - 19"
Grab Bar Height	33" - 36"
Flush Control Height	25" TYP 44" MAX
URINAL: Max. To Rim of Basin	17"
Flush Control Height (Max)	44"
LAVATORIES: Front Approach	
Knee Clearance (Min)	27"
To Top (Max)	34"
To Faucet (Max)	25"
FIXED OR BUILT-IN:	
Height of Tables or Counter:	28" - 34"
Knee Clearance (Min)	27"
SHELVES, DISPENSERS: Max. Height to Control Device	
Frontal Approach (Max)	48"
Side Approach (Max)	48"
SWITCHES AND CONTROLS	
Frontal Approach (Max)	48"
Side Approach (Max)	48"
MIRRORS: Max. Height to Bottom of Reflective Surface	
At Lavatories and Counter Tops	40"
TOILET PAPER DISPENSER: Height to Center of Roll (Max)	19"
PAPER TOWEL DISPENSER: Height to Operating Mechanism	48"



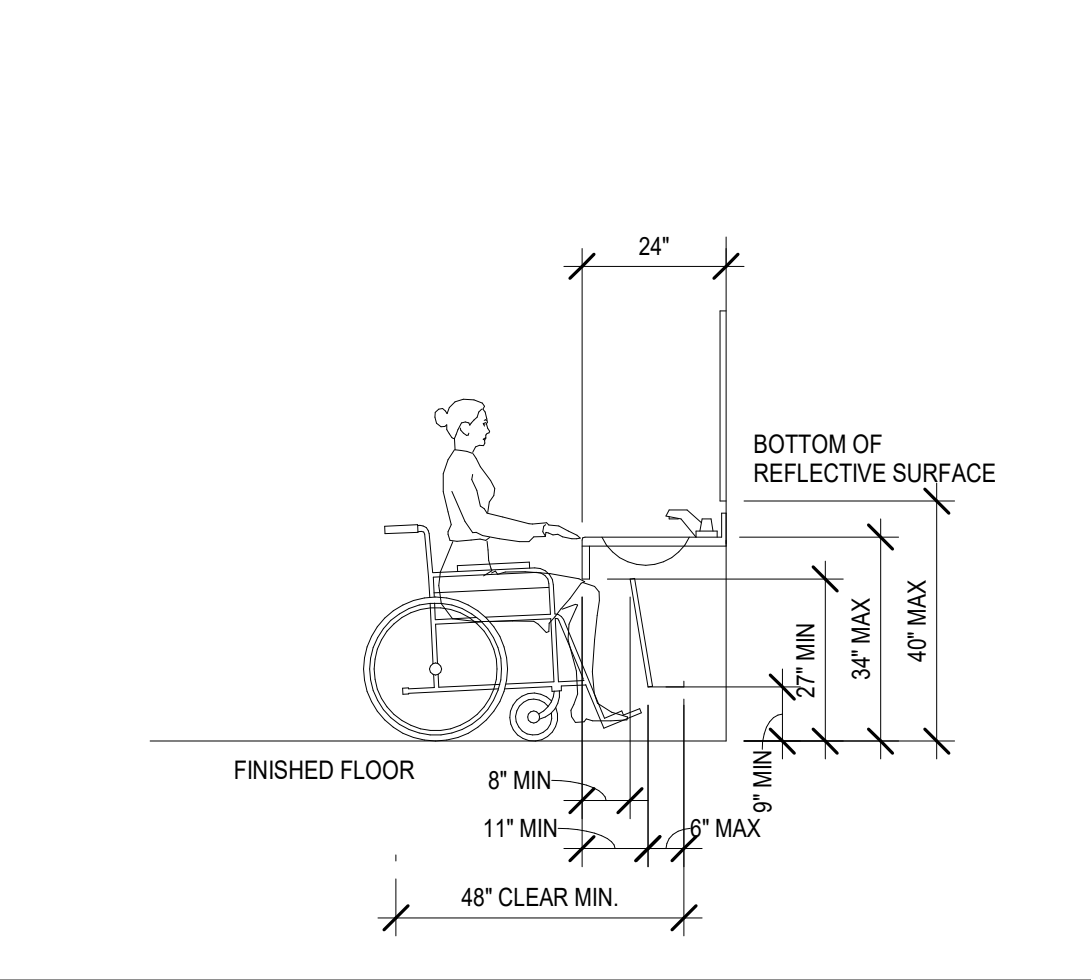
**18 LIFE SAFETY EGRESS PLAN**  
 1/8" = 1'-0"



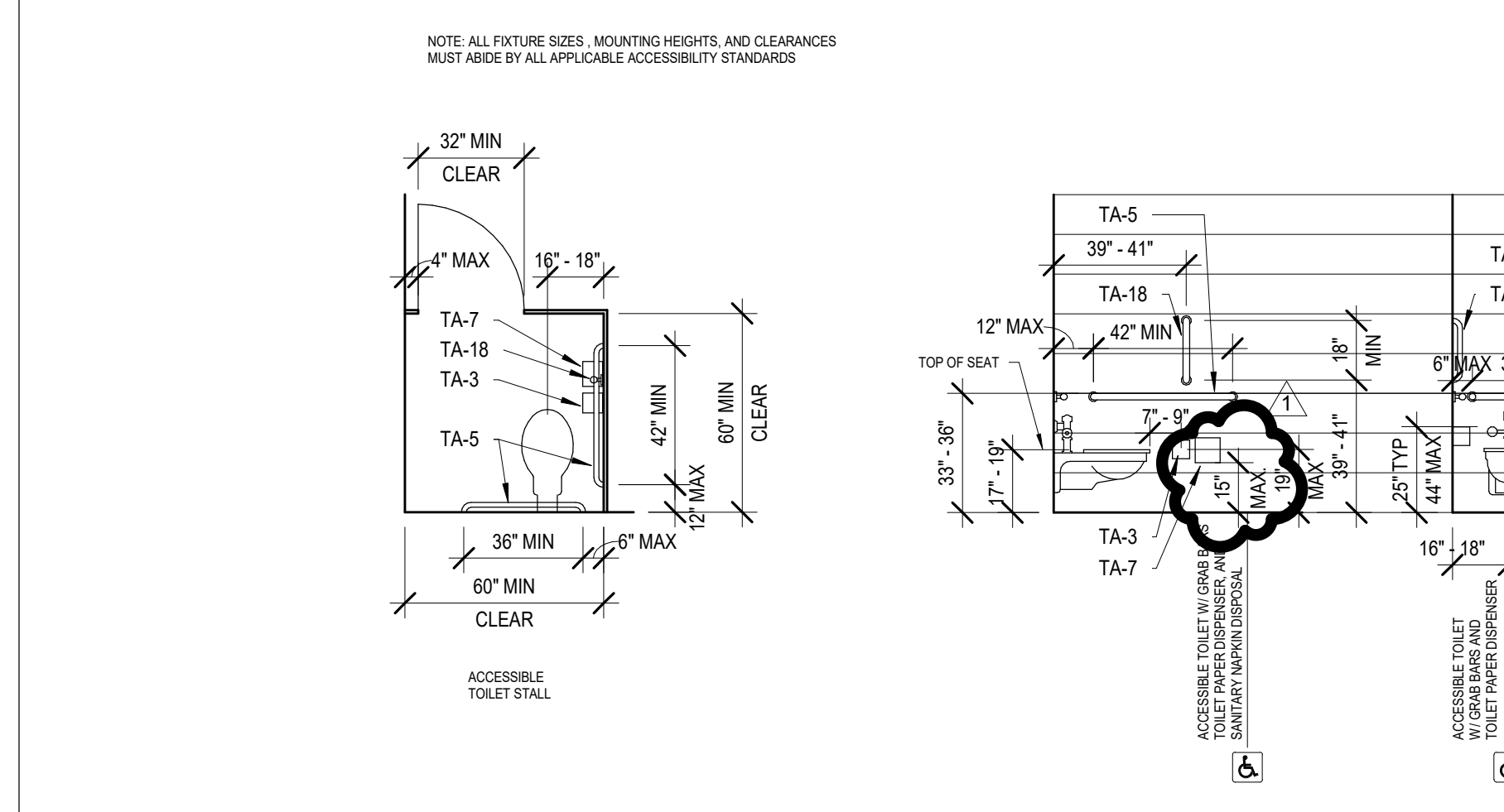
**10 MISC MOUNTING HEIGHTS**  
 3/8" = 1'-0"



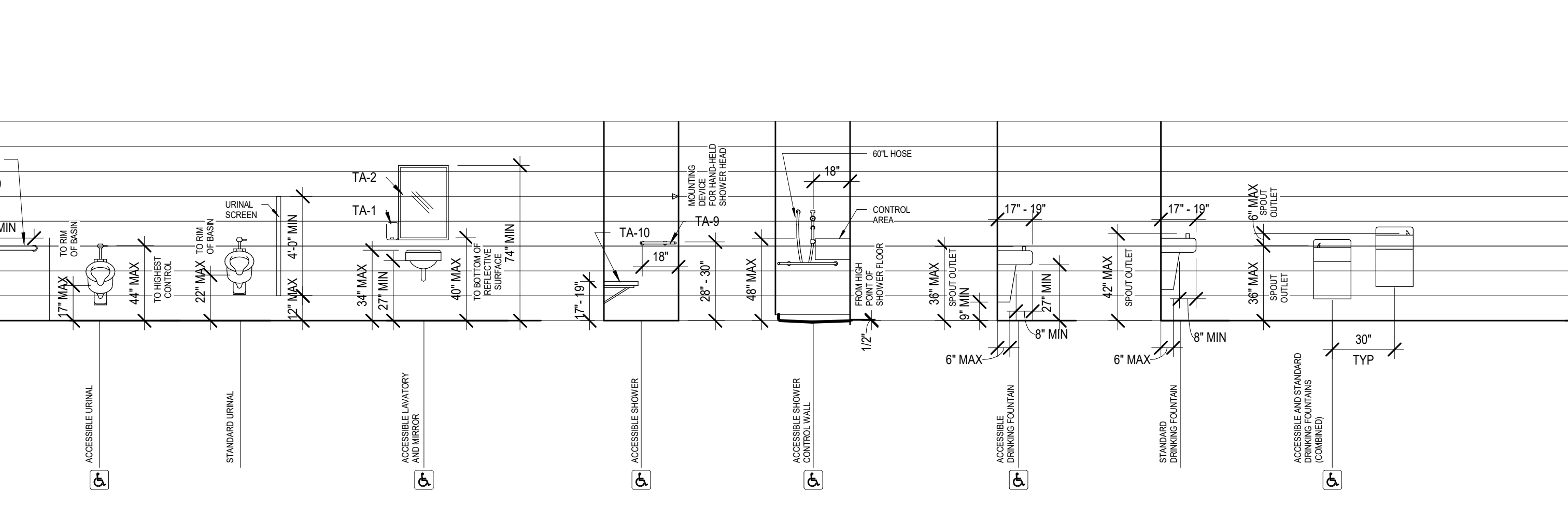
**8 ACCESSIBLE VANITY**  
 3/8" = 1'-0"



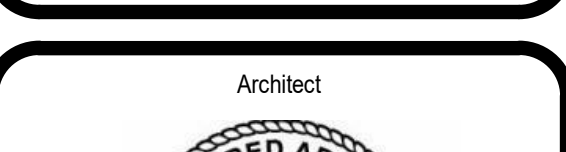
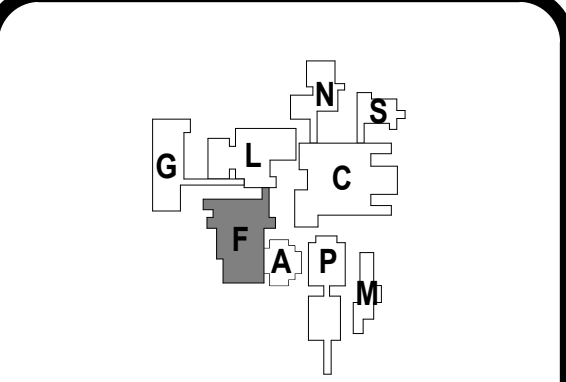
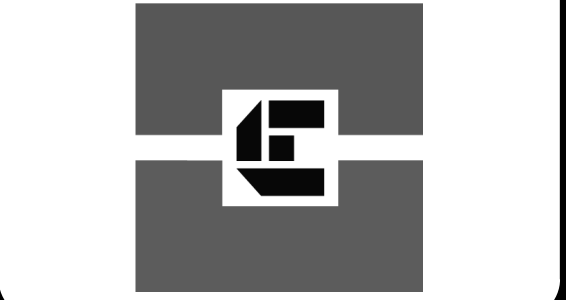
**12 ACCESSIBILITY - AGES 13 THRU ADULT (GRADES 8 AND ABOVE)**  
 1/4" = 1'-0"



**6 ACCESSIBILITY - AGES 13 THRU ADULT (GRADES 8 AND ABOVE)**  
 1/4" = 1'-0"



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CLIENT  
 DCCCD - EASTFIELD CAMPUS  
 PROJECT NUMBER  
 19188

DATE  
 JULY 12, 2019

REVISIONS

No.	Description	Date
1	Addendum 1	8/22/2019

ISSUE FOR BIDDING

ENLARGED  
 SECOND FLOOR  
 PLANS

**A1.02**

**GENERAL NOTES**

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTACT ARCHITECT IF CLARIFICATION IS NECESSARY IN ORDER TO DETERMINE THE INTENT OF THE CONTRACT DOCUMENTS.
- DRAWINGS NOTED AS "N.T.S." OR "N.T.S." ARE NOT TO SCALE.
- ALL DIMENSIONS ARE TO STRUCTURAL COLUMN LINES OR THE SURFACE OF PARTITION ASSEMBLY U.N.O.
- FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE COMMENCING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH AFFECTED WORK.
- NOTES OR DIMENSIONS NOTED AS "TYPICAL" OR "TYP." OR "TYP." SHALL APPLY TO CONDITIONS THAT ARE THE SAME OR SIMILAR.
- DIMENSIONS NOTED AS "FIELD VERIFY" OR "V.I.F." OR "V.I.P." SHALL BE MEASURED AND CONFIRMED AT THE PROJECT SITE BY THE CONTRACTOR AND REVIEWED WITH THE ARCHITECT BEFORE INCORPORATING INTO THE WORK.
- DIMENSIONS NOTED AS "CLEAR" OR "CLEAR INSIDE" REQUIRE SPECIFIC COORDINATION AMONG DISCIPLINES AND OR MANUFACTURERS.
- REFER TO PARTITION TYPES ON A1.00 SERIES SHEETS.
- DIMENSIONS NOTED AS "FIELD VERIFY" OR "V.I.F." OR "V.I.P." SHALL BE MEASURED AND CONFIRMED AT THE PROJECT SITE BY THE CONTRACTOR AND REVIEWED WITH THE ARCHITECT BEFORE INCORPORATING INTO THE WORK.
- ALIGN FINISHED FACE OF WALLS WHERE WALL PARTITIONS OF DIFFERING THICKNESS ABUT AND OR ADJOIN MASONRY WALL PARTITIONS IN THE SAME PLANE.
- ALL INTERIOR CMU OUTSIDE CORNERS SHALL HAVE BULLNOSE U.N.O.
- ALL DOORS SHALL BE SET 6 INCHES OFF THE ADJACENT PERPENDICULAR WALL ON THE HINGE SIDE OF THE DOOR U.N.O. NOTIFY ARCHITECT OF ANY DOOR-RELATED CONFLICTS, INCLUDING BUT NOT LIMITED TO CONFLICTS CONCERNING ACCESSIBILITY STANDARDS.
- ALL DOOR THRESHOLDS AT ALL EXTERIOR DOORS SHALL BE SET IN FULL BED OF SEALANT.
- COORD. ALL ROOF DRAIN LEADER LOCATIONS WITH FLOOR PLAN PRIOR TO FLOOR SLAB CONSTRUCTION.
- ALL FLOOR SLOPES TO FLOOR DRAINS SHALL NOT EXCEED 1:48.
- PROVIDE AND INSTALL SELF-LEVELING UNDERLAYMENT WHERE UNEVEN FLOOR SLAB EXISTS PRIOR TO INSTALLATION OF FLOOR FINISHES.
- COORD. HOUSEKEEPING PAD LOCATIONS AND DIMENSIONS WITH EQUIPMENT TO BE INSTALLED.
- ALL FLOOR FINISH CHANGES SHALL OCCUR AT THE CENTERLINE OF DOORS U.N.O.
- ALL FLOOR FINISH MATERIAL CHANGES SHALL HAVE REDUCER STRIPS.
- ALL REQUIRED ACCESSIBLE CLEARANCES FOR ALL ITEMS, INCLUDING BUT NOT LIMITED TO ALL COUNTER TOPS, ALL PLUMBING FIXTURES, ALL DRINKING FOUNTAINS, ALL ELECTRIC WATER COOLERS, ALL LAVATOIRES, ALL URINALS. ALL TOILETS SHALL BE STRICTLY ENFORCED.
- REFER TO OTHER DISCIPLINE DOCUMENTS FOR ADDITIONAL SCOPE OF WORK.

**GENERAL FINISH LEGEND NOTES**

- ALL FINISH MATERIALS SHALL MEET THE FLAME SPREAD RATINGS PER THE BUILDING CODE.
- REFER TO INTERIOR ELEVATIONS FOR SPECIFIC MATERIAL LOCATIONS.
- PAIN ALL EXPOSED STRUCT. MEMBERS, STRUCT. DECK, DUCTWORK, DIFFUSERS, PIPING, CONDUIT, EQUIP. HOUSINGS, LIGHT FIXTURE HOUSINGS, CABLE SUPPORTS, CABLE TRAYS, EQUIP. SUPPORTS, HANGERS, ETC. TO MATCH ADJACENT SURFACES.
- PAIN ALL NON-FACTORY FINISHED EXPOSED METAL.
- REFER TO TYPICAL FLOORING TRANSITION DETAILS FOR FLOORING MATERIAL TRANSITIONS.
- ALL FLOORING TRANSITIONS AT DOORS SHALL BE LOCATED UNDER THE DOOR IN THE CLOSED POSITION, U.N.O.
- PROTECT ALL FINISHED FLOORING SURFACES FROM DAMAGE DURING ALL CONSTRUCTION PHASES.
- PROVIDE AND INSTALL BULLNOSE TRIM AT ALL TRANSITIONS FROM CERAMIC WALL TILE TO OTHER MATERIAL U.N.O.
- REFER TO REFLECTED CEILING PLANS FOR CEILING HEIGHTS.
- ALL ELECTRICAL DEVICE COVERS ARE TO BE WHITE U.N.O.
- ALL CARPET PATTERNS TO RUN PARALLEL TO CORRIDOR, U.N.O.
- PAIN ALL HOLLOW METAL DOOR FRAMES TO MATCH ADJACENT WALL COLOR U.N.O.

**GENERAL CEILING PLAN NOTES**

- REFER TO AND COORD. WITH ROOM FINISH SCHEDULES FOR SPECIFIC CEILING TYPES.
- ALL SCHEDULED CEILING HEIGHTS ARE FROM THE MAIN FLOOR LEVEL, WITHIN THE ROOM AND OR SPACE, AND ARE NOT FROM AN ELEVATED FLOOR LEVEL, AND ARE NOT FROM A RECESSED FLOOR LEVEL.
- NO FIRE SPRINKLER HEADS ARE SHOWN ON ARCH. CEILING PLANS. ALL SPRINKLER HEADS SHALL BE CENTERED WITHIN CEILING TILES U.N.O.
- ONLY CEILING MOUNTED FIXTURES AND EQUIP. IS SHOWN ON ARCH. CEILING PLANS. REFER TO INTERIOR ELEVATIONS FOR WALL MOUNTED FIXTURES. REFER TO MEPT DOCUMENTS FOR ADDITIONAL INFORMATION CONCERNING MOUNTED FIXTURES AND OR WALL MOUNTED FIXTURES.
- CEILING MOUNTED LIGHT FIXTURES ARE SHOWN FOR LOCATION PURPOSES ONLY. COORD. WITH ELEC. DOCUMENTS FOR LIGHT FIXTURE DESIGNATIONS.
- CEILING MOUNTED LIGHT FIXTURES WITHIN FIRE RATED CEILING ASSEMBLIES SHALL HAVE LIGHT FIXTURE PROTECTION AND BE TENTED OR OTHERWISE FIRE RATED TO MATCH CEILING ASSEMBLY FIRE RATING.
- VERIFY LOCATIONS OF ALL CEILING ACCESS PANELS WITH MEPT DOCUMENTS. COORD. LOCATIONS OF CEILING ACCESS PANELS WITH ARCHITECT PRIOR TO INSTALLATION. CEILING ACCESS PANEL FIRE RATINGS SHALL MATCH CEILING ASSEMBLY FIRE RATINGS.
- REFER TO WALL SECTIONS FOR WALL-CEILING INTERFACE.

**CEILING MATERIALS LEGEND**

	GWB - GYPSUM BOARD
	RE: FINISH SCHEDULE

**KEY NOTE LEGEND**

KEYNOTE	DESCRIPTION
02 41 19 PME	PATCH AND FINISH THESE PARTITIONS TO MAINTAIN EXISTING CONSTRUCTION
02 41 19 SME	SIGNAGE TO MATCH EXISTING. OPOI
06 20 00 CA	CASEWORK APRON, REFER TO ELEVATION FOR FINISH
22 40 00 LAV	LAVATORY, REFER TO PLUMBING
22 40 00 SNK	SINK, REFER TO PLUMBING
22 40 00 WC	WATER CLOSET, REFER TO PLUMBING
FT-1	FLOOR TILE TYPE 1 - FIELD
TA-1W	SOAP DISPENSER, WALL-MOUNTED, TYPICAL
TA-2	LAVATORY MIRROR, TYPICAL
TA-3	TOILET PAPER DISPENSER, TYPICAL
TA-5	GRAB BAR, AT WHEELCHAIR-ACCESSIBLE WATERCLOSET, TYPICAL
TA-13	ELECTRIC HAND DRYER, TYPICAL
TA-16	DIAPER CHANGING STATION
TA-17	TRASH RECEPTACLE, TYPICAL
TA-18	WATER CLOSET COVER DISPENSER
TA-20	TODDLER SAFETY SEAT

**FIN FLOOR MATERIALS LEGEND**

	FT-1, PORCELAIN TILE FLOORING
	RE: FINISH SCHEDULE

**TOILET ACCESSORIES**

LABEL	DESCRIPTION	REMARKS
TA-1	SOAP DISPENSER	NOTE 5
TA-2	MIRROR	
TA-3	TOILET PAPER DISPENSER	
TA-5	GRAB BARS (AT TYPICAL ACCESSIBLE TOILETS)	
TA-11	CLOTHES HOOK	
TA-13	ELECTRIC HAND DRYER, TYPICAL	
TA-14	PAPER TOWEL DISPENSER AND TRASH RECEPTACLE	
TA-16	DIAPER CHANGING STATION	
TA-17	TRASH RECEPTACLE, TYPICAL	
TA-18	WATER CLOSET COVER DISPENSER	
TA-20	TODDLER SAFETY SEAT	

NOTE: ALL TOILET ACCESSORIES SHALL BE CONTRACTOR FURNISHED AND CONTRACTOR INSTALLED U.N.O.

- COORDINATE FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR IS TO VERIFY ALL HEIGHTS OF ACCESSORIES TO COMPLY WITH ALL APPLICABLE ACCESSIBILITY REQUIREMENTS.
- REFER TO ALL FINISHES AND COLORS IN FINISH SCHEDULE, VERIFY ALL PATTERNS WITH ARCHITECT.
- ALIGN MIRROR ON CENTER OF LAVATORY.
- ONE (1) HOOK SHALL BE INSTALLED INSIDE DOOR AT EACH TOILET PARTITION, ONE HOOK INSIDE DOOR AT SINGLE TOILET ROOMS AND ONE HOOK AT EACH SHOWER.

**FINISH LEGEND**

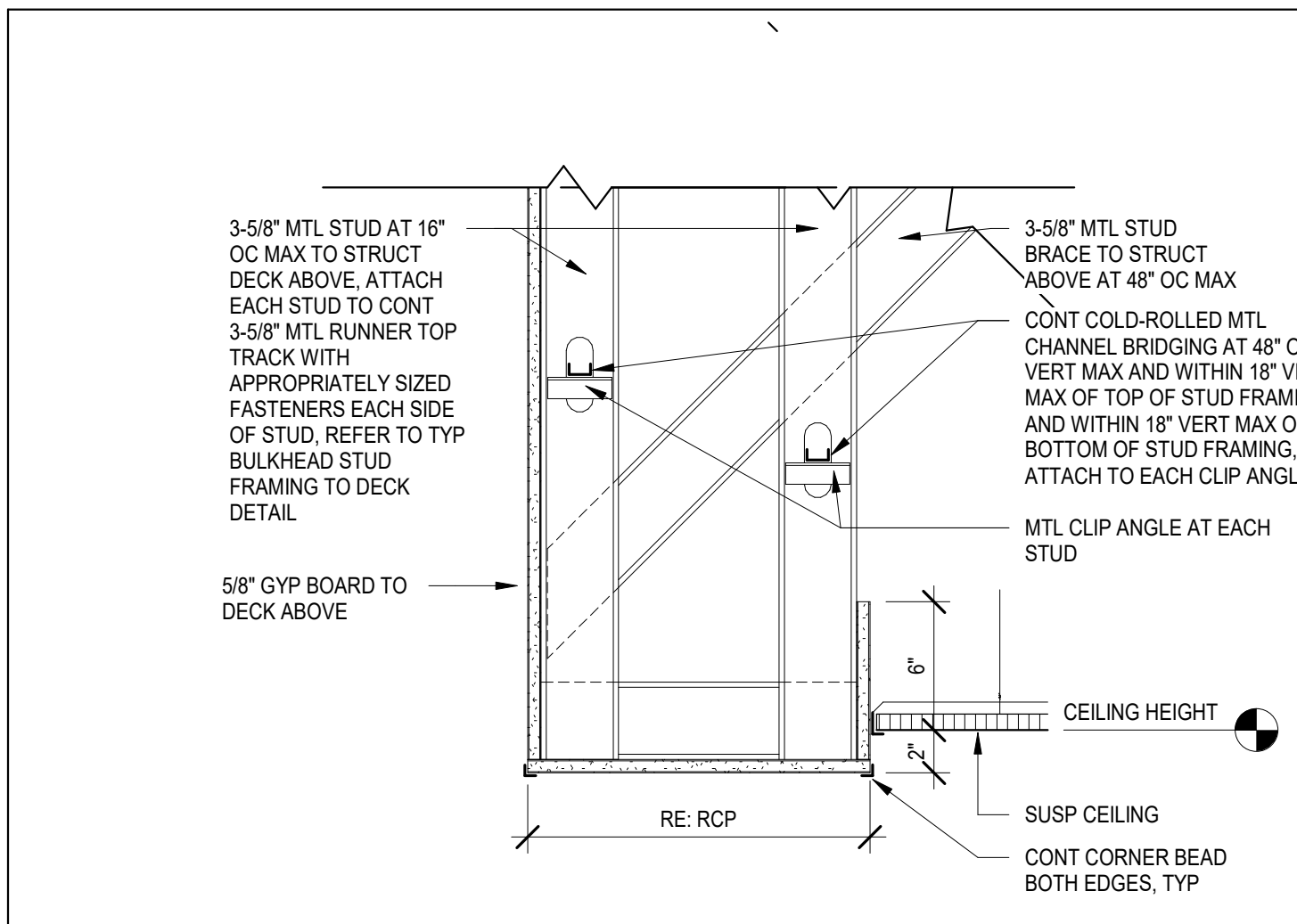
Key Name	FINISH DESCRIPTION	MANUFACTURER	SERIES	COLOR	SIZE	REMARK
CG-1	CORNER GUARDS, TYPE 1					
FT-1	PORCELAIN FLOOR TILE, TYPE 1	THE TILE SHOP		ANTRASIT 660707	12" X 24"	
P-1	PAINT - CEILING	SHERWIN WILLIAMS		ALABASTER 7006		
P-2	PAINT TYPE 2 - TYPICAL WALL PAINT - WHITE	SHERWIN WILLIAMS		EASTFIELD COLLEGE WHITE		
P-3	PAINT - FIELD, TYPE 1	SHERWIN WILLIAMS		MINDFUL GRAY 7016		
RB-1	RUBBER BASE, TYPE 1					
SS-1	SOLID SURFACE, TYPE 1	LG	HI MACS	GEYSER L014		
TB-1	TILE BASE, TYPE 1	THE TILE SHOP		ANTRASIT 660707	6" X 12"	COVE BASE
WT-1	WALL TILE, TYPE 1	DALTILE	COLOR WAVE	CW18 TOP HAT	6" X 11"	
WT-2	WALL TILE, FIELD 1	DALTILE	FABRIQUE	BLANC LINEN P685	6" X 12"	ALTERNATE

**FINISH SCHEDULE - SECOND FLOOR**

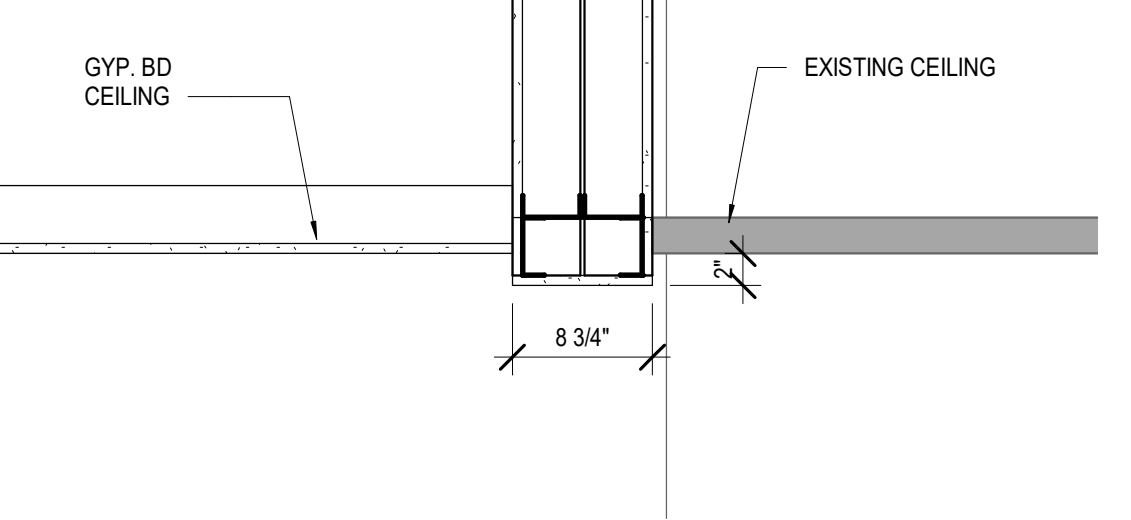
ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALL FINISH			CEILING FINISH	REMARKS
				NORTH WALL	EAST WALL	SOUTH WALL		
F226A	FAMILY RR ACC.	FT-1	TB-1	WT-1	P-2	P-2	P-1	DOOR CLOSER
F226B	FAMILY RR ACC.	FT-1	TB-1	WT-1	P-2	P-2	P-1	DOOR CLOSER
F226C	UNISEX RR	FT-1	TB-1	P-2	WT-1	P-2	P-1	DOOR CLOSER
F226D	UNISEX RR	FT-1	TB-1	P-2	P-2	P-2	WT-1	DOOR CLOSER

**DOOR SCHEDULE - SECOND FLOOR**

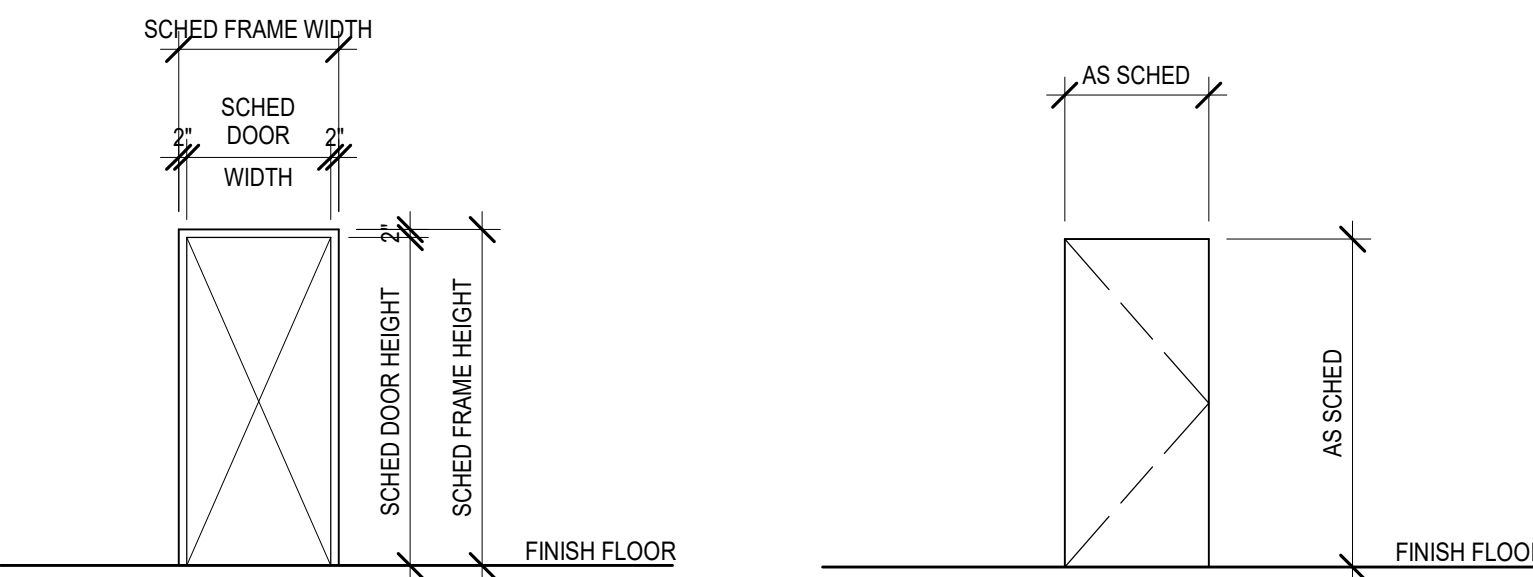
MARK	ELEV.	PAIR	DOOR PANEL SIZE W X H		DOOR FRAME SIZE W X H			DETAILS					REMARKS		
			W	H	MATL.	ELEV.	W	H	MATL.	SILL	JAMB	HEAD			
226A	F	SING	3'-0"	7'-0"	WOOD	1	3'-4"	7'-2"	HM		5/8" A1.04	17/16" A1.04	B341		DOOR CLOSERS REQUIRED
226B	F	SING	3'-0"	7'-0"	WOOD	1	3'-4"	7'-2"	HM		5/8" A1.04	17/16" A1.04	B341		DOOR CLOSERS REQUIRED
226C	F	SING	3'-0"	7'-0"	WOOD	1	3'-4"	7'-2"	HM		5/8" A1.04	17/16" A1.04	B341		DOOR CLOSERS REQUIRED
226D	F	SING	3'-0"	7'-0"	WOOD	1	3'-4"	7'-2"	HM		5/8" A1.04	17/16" A1.04	B341		DOOR CLOSERS REQUIRED



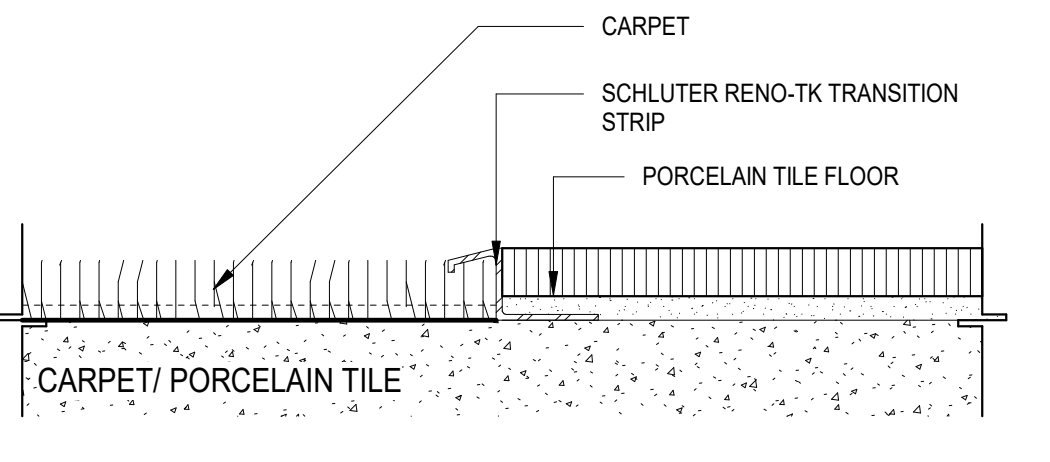
**20 CEILING DETAIL**  
1/2" = 1'-0"



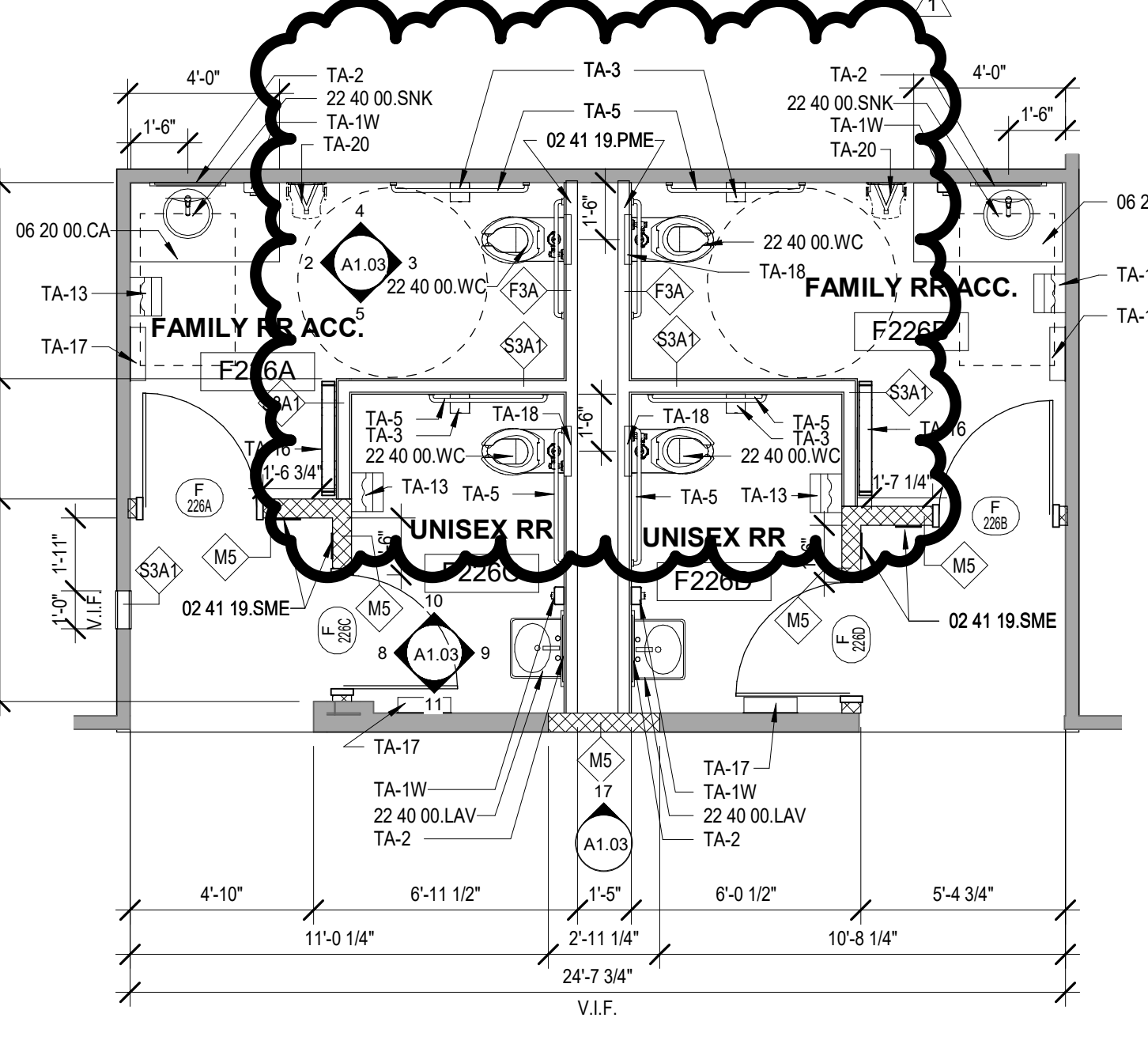
**14 CEILING DETAIL**  
1" = 1'-0"



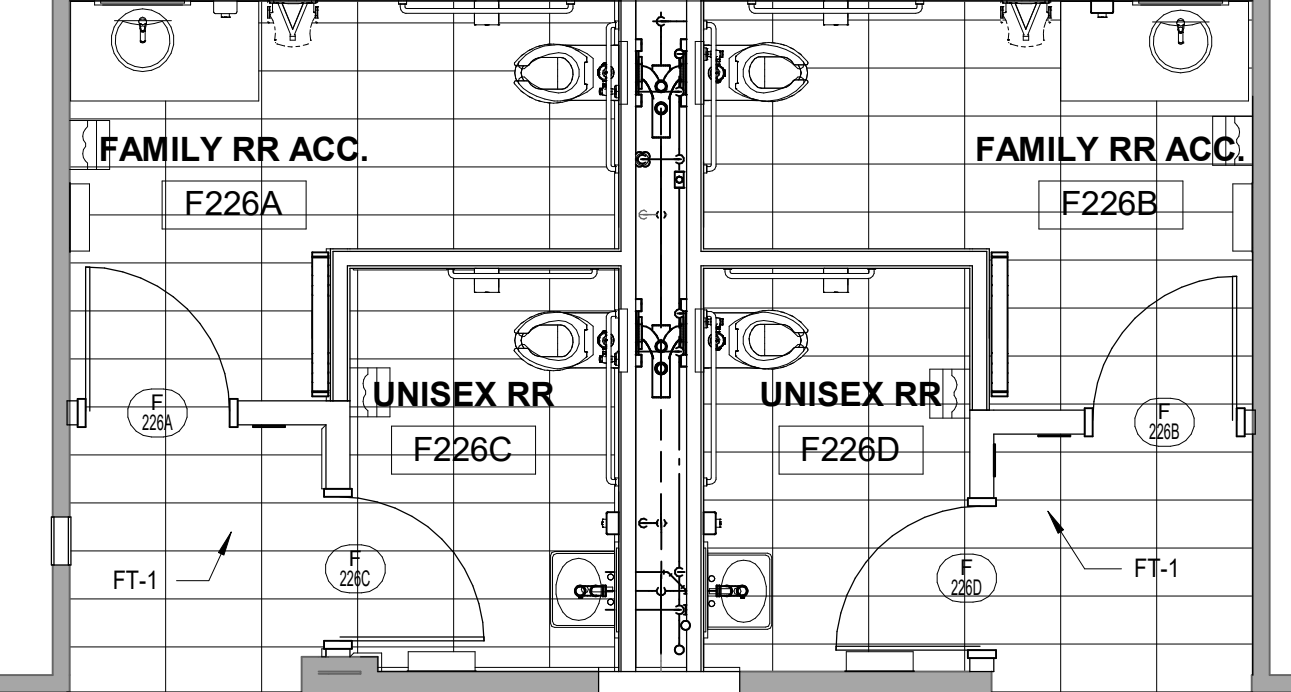
**18 DOOR FRAME AND PANEL ELEVATIONS**  
1/4" = 1'-0"



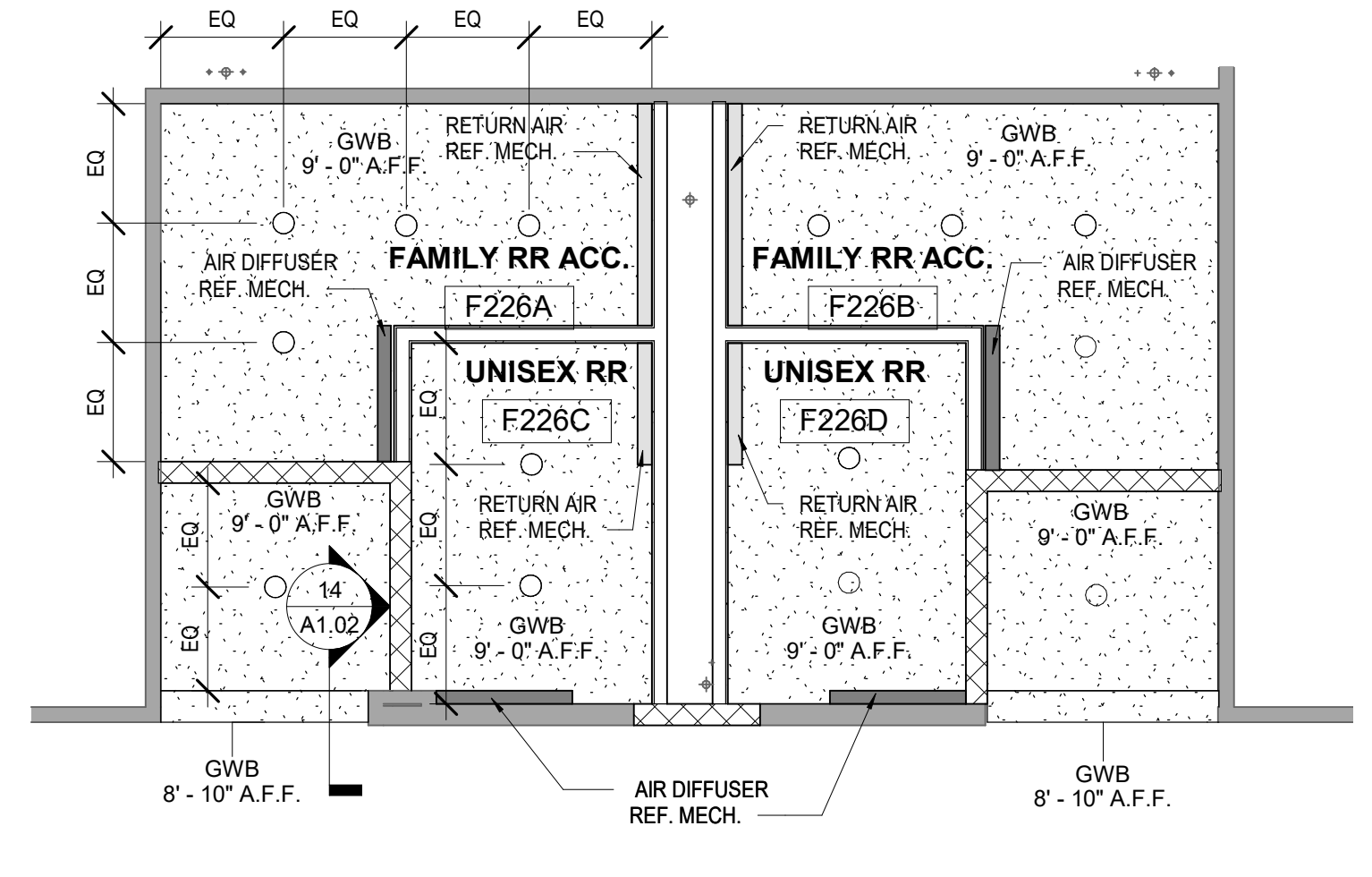
**16 TYP INT FLOOR TRANSITION**  
1/2" = 1'-0"



**3 SECOND FLOOR ENLARGED**  
1/4" = 1'-0"



**4 SECOND FLOOR ENLARGED FINSH PLAN**  
1/4" = 1'-0"



**2 ENLARGED RCP**  
1/4" = 1'-0"

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## GENERAL FINISH LEGEND NOTES

- ALL FINISH MATERIALS SHALL MEET THE FLAME SPREAD RATINGS PER THE BUILDING CODE.
- REFER TO INTERIOR ELEVATIONS FOR SPECIFIC MATERIAL LOCATIONS.
- PAINTE ALL EXPOSED STRUCT. MEMBERS, STRUCT. DECK, DUCTWORK, DIFFUSERS, PIPING, CONDUIT, EQUIP. HOUSINGS, LIGHT FIXTURE HOUSINGS, CABLE SUPPORTS, CABLE TRAYS, EQUIP. SUPPORTS, HANGERS, ETC. TO MATCH ADJACENT SURFACES.
- PAINTE ALL NON-FACTORY FINISHED EXPOSED METAL.
- REFER TO TYPICAL FLOORING TRANSITION DETAILS FOR FLOORING MATERIAL TRANSITIONS.
- ALL FLOORING TRANSITIONS AT DOORS SHALL BE LOCATED UNDER THE DOOR IN THE CLOSED POSITION, U.N.O.
- PROTECT ALL FINISHED FLOORING SURFACES FROM DAMAGE DURING ALL CONSTRUCTION PHASES.
- PROVIDE AND INSTALL BULLNOSE TRIM AT ALL TRANSITIONS FROM CERAMIC WALL TILE TO OTHER MATERIAL, U.N.O.
- REFER TO REFLECTED CEILING PLANS FOR CEILING HEIGHTS.
- ALL ELECTRICAL DEVICE COVERS ARE TO BE WHITE, U.N.O.
- ALL CARPET PATTERNS TO RUN PARALLEL TO CORRIDOR, U.N.O.
- PAINTE ALL HOLLOW METAL DOOR FRAMES TO MATCH ADJACENT WALL COLOR, U.N.O.

ARCHITECT PBK Architects, Inc.  
 DALLAS  
 14001 Dallas Parkway, Suite 400  
 Dallas, TX 75240  
 972-233-1323 P  
 972-233-1393 F  
 TX Firm F-1688

MEPT 11 Greenway Plaza, Suite 1010  
 Houston, TX 77046  
 713-940-2000 P 713-961-6371 F  
 TX Firm F-1552

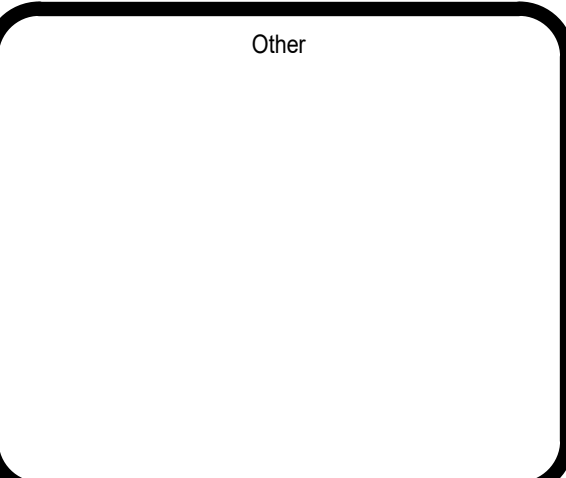
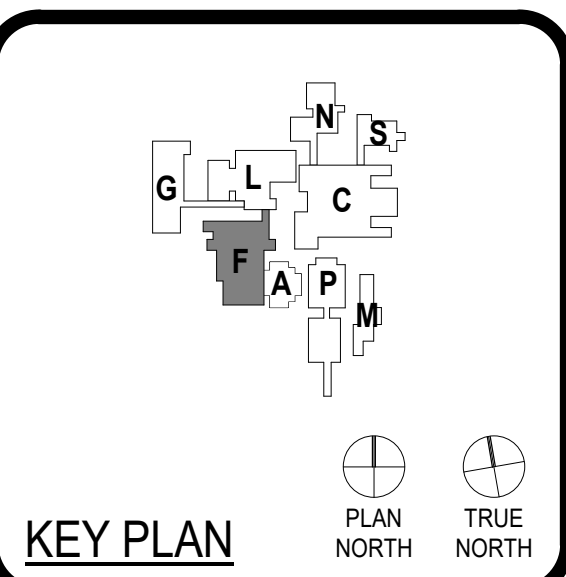
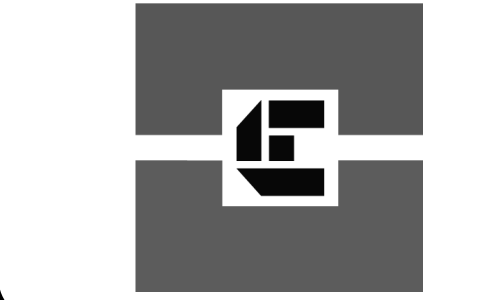
## KEY NOTE LEGEND

KEYNOTE	DESCRIPTION
02 41 19 SME	SIGNAGE TO MATCH EXISTING, OFOI
06 20 00 CA	CASEWORK APRON, REFER TO ELEVATION FOR FINISH
22 40 00 SNK	SINK, REFER TO PLUMBING
22 40 00 WC	WATER CLOSET, REFER TO PLUMBING
P-2	PAINT TYPE 2 - TYPICAL WALL PAINT - WHITE
P-3	PAINT TYPE 3 - FIELD PAINT
SS-1	SOLID SURFACING COUNTERTOP AND APRON
TA-1W	SOAP DISPENSER, WALL-MOUNTED, TYPICAL
TA-2	LAVATORY MIRROR, TYPICAL
TA-3	TOILET PAPER DISPENSER, TYPICAL
TA-5	GRAB BAR, AT WHEEL CHAIR-ACCESSIBLE WATERCLOSET, TYPICAL
TA-11	CLOTHING HOOK, TYPICAL
TA-13	ELECTRIC HAND DRYER, TYPICAL
TA-16	DIAPER CHANGING STATION
TA-17	TRASH RECEPTACLE, TYPICAL
TA-18	WATER CLOSET COVER DISPENSER
TA-20	TODDLER SAFETY SEAT
TB-1	TILE BASE TYPE 1 - COVE BASE
WT-1	WALL TILE, TYPE 1
WT-2	WALL TILE, TYPE 2 - FIELD

## WALL TILE MATERIALS LEGEND

- WT-2, WALL TILE, FIELD 1  
 12" X 24"  
 INSTALLED USING A STACK BOND
- WT-1, WALL TILE, TYPE 1  
 6" X 1"  
 INSTALLED VERTICALLY


**RENOVATIONS - BUILDING 'F'**  
**FAMILY/UNISEX RESTROOM**



CLIENT		
DCCCD - EASTFIELD CAMPUS		
PROJECT NUMBER		
19188		
DATE	JULY 12, 2019	
REVISIONS		
No.	Description	Date
1	Addendum 1	8/22/2019

**ISSUE FOR BIDDING**  
**INTERIOR ELEVATIONS**  
A1.03

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**END OF PROJECT MANUAL TABLE OF CONTENTS**

## **SECTION 01 10 00 - SUMMARY**

### **PART 1 - GENERAL**

#### **1.1 RELATED DOCUMENTS**

- A. Drawings and general provisions of the Contract, including General Conditions and other Division 01 Specification Sections, apply to this Section.

#### **1.2 SUMMARY**

- A. Section Includes: Requirements including but not limited to:
  - 1. Project information
  - 2. Work covered by Contract Documents
  - 3. Phased construction
  - 4. Work by Owner
  - 5. Work under separate contracts
  - 6. Future Work
  - 7. Purchase contracts
  - 8. Owner furnished products
  - 9. Owner furnished, Contractor installed products
  - 10. Access to site
  - 11. Coordination with occupants
  - 12. Work restrictions
  - 13. Specification and drawing conventions
  - 14. Miscellaneous provisions

#### **1.3 PROJECT INFORMATION**

- A. Project Identification: Eastfield Campus – Renovations – Family/Unisex RR
  - 1. Project Location: Eastfield Campus, 3737 Motley Rd., Mesquite, TX 75150.
- B. Owner:
  - 1. Owner's Representative: Michael S. Brantley
- C. Architect: PBK Architects, Dallas, Texas
- D. Consultants: Additional design professionals have been retained who have prepared designated portions of the Contract Documents.

#### **1.4 WORK COVERED BY CONTRACT DOCUMENTS**

- A. The Work of Project is defined by the Contract Documents and consists of the following: Renovate existing restrooms into four single occupancy restrooms, two of which shall be accessible.
- B. Type of Contract: Project will be constructed under a Competitive Sealed Proposal contract.

#### **1.5 WORK BY OWNER AND UNDER SEPARATE CONTRACTS**

- A. Cooperate fully with Owner so Work may be carried out smoothly, without interfering with or delaying the work or work by Owner. Coordinate the Work with Work performed by Owner.
- B. The Owner reserves the right to let separate contract for Work outside of the scope of this Contract. Cooperate fully with separate contractors so Work on those contracts may be carried

out smoothly, without interfering with or delaying Work under this Contract or other contracts. Coordinate the Work of this Contract with Work performed under separate contracts.

- C. Purchase Contracts: The Owner reserves the right to negotiate purchase contracts with suppliers of material and equipment that may be incorporated into the Work. The Owner will assign these purchase contracts to Contractor. Include costs for purchasing, receiving, handling, storage if required, and installation of material and equipment in the Contract Sum, unless otherwise indicated.
  - 1. Contractor's responsibilities are same as if Contractor had negotiated purchase contracts, including responsibility to renegotiate purchase and to execute final purchasing agreements.
- D. Owner Furnished, Contractor Installed Products (OFICI): The Owner will furnish products indicated. The Work includes receiving, unloading, handling, storing, protecting, and installing Owner furnished products and making building services connections when applicable.
  - 1. Owner Furnished Products: Coordinate with Owner.

## 1.6 ACCESS TO SITE

- A. General: Contractor shall have full use of Project site for construction operations during construction period. Contractor's use of Project site is limited only by Owner's right to perform work or to retain other contractors on portions of Project.
- B. General: Contractor shall have limited use of Project site for construction operations as indicated on Drawings by the Contract limits and as indicated by requirements of this Section.
- C. Use of Site: Limit use of Project site to Work in areas and areas within the Contract limits indicated. Do not disturb portions of site beyond areas in which the Work is indicated.
  - 1. Limits:
    - a. The drawings indicate the limits of the construction operations.
    - b. Limit site disturbance, including earthwork and clearing of vegetation, to 40 feet (12.2 m) beyond building perimeter; 10 feet (3 m) beyond surface walkways, patios, surface parking, and utilities less than 12 inches (300 mm) in diameter; 15 feet (4.5 m) beyond primary roadway curbs and main utility branch trenches; and 25 feet (7.6 m) beyond constructed areas with permeable surfaces (such as pervious paving areas, stormwater detention facilities, and playing fields) that require additional staging areas in order to limit compaction in the constructed area.
  - 2. Driveways, Walkways, and Entrances: Keep driveways, parking areas, student drop off and pick up points, loading areas, and entrances serving premises clear and available to Owner, Owner's employees, the students, and emergency vehicles at all times. Do not use these areas for parking or storage of materials.
    - a. Schedule deliveries to minimize use of driveways and entrances by construction operations.
    - b. Schedule deliveries to minimize space and time requirements for storage of materials and equipment on-site.
- D. Condition of Existing Building: Maintain portions of existing building affected by construction operations in weathertight condition throughout construction period. Repair damage caused by construction operations.

## 1.7 COORDINATION WITH OCCUPANTS

- A. Full Owner Occupancy: Owner will occupy site and adjacent building(s) during entire construction period. Cooperate with Owner during construction operations to minimize conflicts and facilitate

Owner usage. Perform Work to prevent interference with Owner's day to day operations. Maintain existing exits unless otherwise indicated.

1. Maintain access to existing walkways, corridors, and other adjacent occupied or used facilities. Do not close or obstruct walkways, corridors, or other occupied or used facilities without written permission from Owner and approval of authorities having jurisdiction.
  2. Notify Owner not less than 72 hours in advance of activities that will affect Owner's operations.
- B. Owner Limited Occupancy of Completed Areas of Construction: Owner reserves the right to occupy and to place and install equipment in completed portions of the Work, prior to Substantial Completion of the Work, provided occupancy does not interfere with completion of the Work. Such placement of equipment and limited occupancy shall not constitute acceptance of the total Work.
1. Architect will prepare a Certificate of Substantial Completion for each specific portion of the Work to be occupied prior to Owner acceptance of the completed Work.
  2. Obtain a Certificate of Occupancy from authorities having jurisdiction before limited Owner occupancy.
  3. Before limited Owner occupancy, ensure mechanical and electrical systems are fully operational, and required tests and inspections and start up procedures are successfully completed. On occupancy, Owner will operate and maintain mechanical and electrical systems serving occupied portions of Work.
  4. Upon occupancy, Owner will assume responsibility for maintenance and custodial service for occupied portions of Work.

## 1.8 WORK RESTRICTIONS

- A. Work Restrictions: Comply with restrictions on construction operations. Comply with limitations on use of public streets and with other requirements of authorities having jurisdiction.
- B. On-Site Work Hours: Limit Work in the existing building to normal working hours, Monday through Friday, unless otherwise indicated. Coordinate with Owner when it is necessary to extend working hours or Work on weekends.
- C. Existing Utility Interruptions: Do not interrupt utilities serving facilities occupied by Owner or others unless permitted under the following conditions and after providing temporary utility services according to requirements indicated:
1. Notify Owner not less than two weeks in advance of proposed utility interruptions.
  2. Obtain Owner's written permission before proceeding with utility interruptions.
- D. Noise, Vibration, and Odors: Coordinate operations that result in high levels of noise and vibration, odors, or other disruption to Owner occupancy with Owner.
1. Notify Owner not less than two weeks in advance of proposed disruptive operations.
  2. Obtain Owner's written permission before proceeding with disruptive operations.
- E. Controlled Substances, Firearms, and Explosive Devices: Use of tobacco products, controlled substances, firearms, and explosive devices on the site is not permitted.
- F. Employee Identification: Provide identification tags for Contractor personnel working on site. Require personnel to use identification tags at all times.
- G. Employee Screening: Comply with Owner's requirements for drug and background screening of Contractor personnel working on site.
1. Maintain list of approved screened personnel with Owner's representative.

## **1.9 SPECIFICATION AND DRAWING CONVENTIONS**

- A. Specification Content: The Specifications use certain conventions for the style of language and the intended meaning of certain terms, words, and phrases when used in particular situations. These conventions are as follows:
1. Imperative mood and streamlined language are generally used in the Specifications. The words "shall," "shall be," or "shall comply with," depending on the context, are implied where a colon (:) is used within a sentence or phrase.
  2. Specification requirements are to be performed by Contractor unless specifically stated otherwise.
- B. Division 01 General Requirements: Requirements of Sections in Division 01 apply to the Work of each specification section.
- C. Drawing Coordination: Requirements for materials and products identified on Drawings are described in detail in the Specifications. One or more of the following are used on Drawings to identify materials and products:
1. Terminology: Materials and products are identified by the typical generic terms used in the individual Specifications Sections.
  2. Abbreviations: Materials and products are identified by abbreviations.

### **PART 2 - PRODUCTS** *(Not Used)*

### **PART 3 - EXECUTION**

#### **3.1 CONSTRUCTION SCHEDULE**

- A. The Owner has a critical need for the Work to begin upon Notice to Proceed and shall be Substantially Complete by December 31, 2019. There will be No Extensions of Time due to weather except in cases of extreme weather (hurricane, tornado, etc.). The impact of each extreme weather event on schedule shall be discussed by the Architect, Owner, and Contractor.

**END OF SECTION 01 10 00**

## **SECTION 01 23 00 - ALTERNATES**

### **PART 1 - GENERAL**

#### **1.1 RELATED DOCUMENTS**

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

#### **1.2 SUMMARY**

- A. Section includes administrative and procedural requirements for alternates.

#### **1.3 DEFINITIONS**

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
  - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
  - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

#### **1.4 PROCEDURES**

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
  - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Notification: Immediately following award of the Contract, each party involved shall be notified in writing of the status of each alternate, in particular whether alternates have been accepted, rejected, or deferred for later consideration. Notification shall include a complete description of negotiated revisions to alternates.
- C. Execute accepted alternates under the same conditions as other work of the Contract.
- D. Schedule: A schedule of alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

### **PART 2 - PRODUCTS (NOT USED)**

### **PART 3 - EXECUTION**

#### **3.1 SCHEDULE OF ALTERNATES**

- A. Alternate No. 1
  - 1. Base Bid: WT-1, and P-2 as indicated on sheets A1.03, and A1.04.

2. Alternate: WT-2 wall tile alternate for P-2 on all restroom walls as indicated on sheets A1.03 and A1.04.
- B. Alternate No. 2
1. Base Bid: VCT-1: Existing floor drains to remain.
  2. Alternate: Provide new floor drains under the lavatory. Remove existing drains and cap existing piping per the Plumbing drawings.

**END OF SECTION 01 23 00**